



PADRE ISLES PROPERTY OWNERS ASSOCIATION

14015 FORTUNA BAY DRIVE • CORPUS CHRISTI, TX 78418-6327 • (361) 949-7025 • FAX (361) 949-7026 • EMAIL padreisles@pipoa.net

DEAR NEW PROPERTY OWNER:

Welcome to Padre Island and the Padre Isles Property Owners Association (PIPOA). We hope this information will be helpful to you.

Membership in the POA is automatic for those acquiring record legal title to properties within Padre Isles. Specific details regarding incorporation, membership, voting rights, meetings, corporate management, officers, assessments, etc. are contained in our *Articles of Incorporation* and in our *Bylaws*, which may be found on our web site: www.padreislespoa.net.

You should have been informed by your real estate agent or at closing that your property is subject to certain *Protective Covenants and Landowners' agreement*. These recorded legal documents, running with the land, cover such subjects as: Architectural Control, General Land Use, Size, Design and Placement of Improvements, and the Maintenance Fund.

Architectural Control requires that plans for any construction project **must** be submitted, and the fee paid **prior** to starting any construction. Any building, structure, or improvement of any nature to be erected, placed or altered on any lot within our subdivisions involves a detailed approval and inspection process, detailed in our *Policy and Procedures Guide and Construction Standards*.

General Land Use specifies the type of buildings, such as single-family, multi-family or commercial; and the prohibitions against used materials, outside toilets, oil drilling, large or multiple signs, temporary dwellings, front yard antennas, and other matters.

Size, Design and Placement of Improvements includes facing, minimum square footage, building lines, wind loading, aesthetics, fences/walls, foundations, height, and parking areas.

Landowners' Agreements detail annual maintenance charges for Common Area Maintenance and community area preservation. Annual fees are based upon property square footage, whether improved (with a structure) or unimproved (a vacant lot). Annual rates for water access lots (non bulkheaded) are two cent (\$0.02) per square foot, and ten cents (\$0.10) per square foot for waterfront (bulkheaded) lots. Fees are billed each January for the calendar year and are due upon receipt. Unpaid balances, after 90 days, will be charged quarterly interest at an annual rate of 6%. Common Area Maintenance (C.A.M.) fees are used for safety and recreational projects and for developing,

improving, maintaining, insuring and securing common areas within our development and include waterways, bulkheads, boat ramps, beautification areas, and POA office facilities. C.A.M. is NOT used to maintain or improve private, member owned, property.

Our POA was incorporated in 1976, in accordance with the Texas Non-Profit Act, to act as trustee, custodian and administrator of the "Maintenance Fund". There is an elected seven-member volunteer Board of Directors and a paid staff of three.

BULKHEADS: The 32 miles of bulkheads in Padre Isles are owned by the PIPOA. Bulkhead cap repair is a continuing annual function, paid for through annual dues of all property owners. The bulkheads were constructed in the late 1960's and early 1970's. No maintenance program was developed until the year 2000. The Board of Directors authorizes approximately \$800,000 in the budget each year for bulkhead cap repair.

BOAT RAMPS: If you are going to park your trailer and vehicle on one of the 7 ramps with parking lots, you will need an annual parking sticker on the vehicle which costs \$20. Parking stickers are available at the POA office.

HURRICANES: Preparedness is a way of life on the Gulf Coast. Everyone needs to develop a plan to evacuate the Island and to protect individuals, pets and property. You will need valid forms of I.D., with an island address, to return to the island. Examples are a driver's license, an auto insurance card, or a current utility bill.

POA MEETINGS: The Board of Directors meets on the fourth Tuesday of the month at 5:30 p.m. You are welcome and encouraged to attend any meeting as well as to volunteer to serve on committees. Meetings are held at the Wyndham Beach Resort, located at: 15202 Windward Drive, Corpus Christi, TX 78418.

We know that settling in can be a busy, confusing time, and you may not have time to review all our rules and regulations right away. Therefore, we have selected some information to get you started off on the right foot with your neighbors. We have enclosed a **Checklist** which we hope will give you an easy reference.

Again, we welcome you, both as a property owner and as a member of the POA. If we can be of assistance, please feel free to contact us.

Sincerely,

A handwritten signature in black ink, appearing to read "Gary Klepperich", written over a horizontal line.

Gary Klepperich, CMCA, AMS, PCAM
Executive Director
Padre Isles Property Owners Association



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CHECKLIST

1. Lots must be maintained free of weeds and trash; bushes and shrubs should be trimmed and curbs clean.
2. Garbage container and recycle container are to be placed on the street the morning of pickup and removed that evening. The containers are not to be visible from the street or the canal. Trash pickup is on Friday (exception could be holidays) and recycle collection is every other Friday. Be sure to check the material delivered with the recycle container.
3. Bright lights on docks should be pointed down and not at houses across the canal.
4. Barking dogs are a nuisance. Dogs must be on a leash or behind a fence. Dog excrement must not be swept or discarded into the canal. Please pick up excrement and discard properly (from your yard or while you walk your dog.)
5. Keep the canals clean! Grass clippings, palm fronds and fish remains are not to be put into the canals.
6. If boat ramps are to be used, stickers must be obtained from the POA office and displayed on the front windshield of the vehicle. Only Owners of record (on the deed) are eligible to purchase parking permit stickers.
7. Trailers parked on the street must be hooked up to a vehicle.
8. In case of an evacuation, absentee owners and renters will be required to produce valid forms of I.D., with an island address. Examples are a driver's license an auto insurance card, or a current utility bill.
9. Please park with consideration for neighbors.
10. All Canals are "no wake" areas with 5 mph maximum speed limit.
11. Vacant lots are not to be used for dumping plant clippings, construction debris or Parking/storing boat trailers or any other vehicles.
12. If you have any questions, please call the POA office at (361) 949-7025 or check our website www.padreislespoa.net for information.

THINGS TO KEEP IN MIND

POA Permits are required for:

Additions

Shade Structures

Decks

Fences

Storage Sheds

Docks

Retaining walls

Pools

Solar Panels

Landscaping and cement flatwork do not require a permit. Do not hesitate to call the office (361) 949-7025 – if you have questions or email: padreisles@pipoa.net. The full set of guidelines can be found at our website: padreislespoa.net.

Your property is to be well maintained. You may want to look at your house as if you were going to buy it. Does it need to be painted? Is the garage door rusty? Do you have old wood or miscellaneous “junk” stored outside? Is the landscaping well maintained and attractive?

Garbage and recycle cans are to be stored **BEHIND** the fence or in the garage, as to be screened from public view. They should be put out Thursday night and returned to the storage area by Friday night.

The City Code requires weeds to be no taller than 12 inches. Curbs and gutters need to be clear of all sand and debris.

DO NOT BUILD OVER THE BULKHEAD CAP OR PUT NAILS, ANCHORS, ETC. IN THE CEMENT

Outside lights are to shine **ONLY ON YOUR** property. Be aware of how far the light shines!

Sound travels – please turn down the volume after 10:00 PM, especially outside.

Call Animal Control to pick up a dead animal at (361) 826-2489.



Barking Dogs – If you have a dog, be aware that if you leave it outside for long periods of time, it will bark! Please be a responsible pet owner. Pick up after your dog! If you have a problem with barking dogs, you will need to file a complaint at City Hall. The Police no longer respond to barking dog calls.

DO NOT DUMP FISH CARCASSES OR DOG FECES INTO THE CANALS



Vacant lots are not dumping grounds or parking lots. Boats/watercraft, trailers, and vehicles are not to be parked on vacant lots. Brush, litter, or debris should not be put on vacant lots – that is illegal dumping! Please remember that vacant lots are privately owned property.

The round blue POA sticker is not a hurricane re-entry sticker. If you do not have your Island address on your driver's license, an emergency re-admittance pass is available at the office.

If you are going to park at any of the boat ramps, you need a POA parking permit sticker on your vehicle. Annual parking permit stickers are \$20.00 and must be placed on the front windshield.

Report **ANY** theft or vandalism to the Police using the non-emergency number (361) 886-2600.

The Community Garden at Doudin Park

Cobo De Bara Circle

Gardening Suggestions

Welcome to your Community Garden. The Community Garden is under the sponsorship of The Padre Isles property Owners Association. The first of these gardens was established in the winter of 2011. The gardens have now expanded to five sections of twenty gardens each.

In addition to the Community Gardens, the Island Gardeners (garden club) has constructed and maintains the Butterfly Gardens, fruit tree orchards along with other ornamental trees that surround the area. The Butterfly Garden is dedicated to the memory of William (Bill) Bodrug and Dave Kurz (two former POA Board Members).

We hope you will enjoy this area and share the experience with your friends and neighbors. The mission of these gardens is to develop a sense of community and fellowship among our residents who enjoy the outdoors and gardening.

If you wish to have one of the raised beds to enjoy vegetable gardening, please contact the PIPOA Office at (361) 949-7025 to get your name on the list to obtain a garden. You must be an owner of PIPPOA property to be eligible. Please submit your name, address, phone number, and e-mail address to our receptionist. When a bed becomes available, you will be contacted. At that time, you will be asked to pay a one-time \$50.00 fee. You will then be given a bed number and you can begin to enjoy gardening. You will be asked to supply a name for your bed and a sign will be posted for you.

The garden beds must be regularly maintained by the owner of the bed.

Some things to remember are:

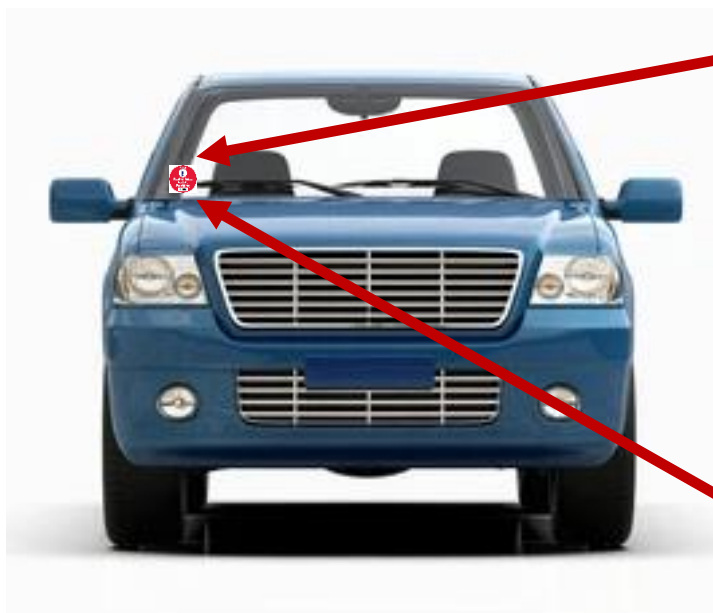
- You must haul off your own trash.
- Pick your produce regularly.
- All garden implements can be left within the confines of your bed.
- Water hoses and water are provided by the City.
- Please do not construct any structure in your bed higher than 36 inches above the level of the box. Please use visually appealing materials. We want our gardens to be functional, but at the same time create an appealing appearance.
- The gardens are pet friendly but please remember to clean up after your pet.
- The veggies grown in these assigned beds are for the use of the assigned gardener only. Please do not pick veggies from beds that you do not maintain.
- Please do not propagate sunflowers. While sunflowers are pretty, they are evasive and spread, growing large and unsightly. We want to discourage their presence in the gardens.

If you feel you no longer wish to garden, please notify the POA office so that your garden can be passed on to another individual. If a bed goes untended for an entire season, you will be contacted and your bed will be passed on to the next person on our long waiting list.

Should you have any questions, please contact the POA Office. Thank you for your interest and cooperation in this worthy community effort. Volunteers to weed and provide other services are always welcome.



PROPER PARKING & PERMIT STICKER PLACEMENT



- Permit Sticker Must Be Permanently Placed on the Lower, Passenger Side (Right Side) Of Front Windshield on The Inside of The Window as To Be Easily Visible at All Times.
- Serial Numbered Permit Sticker Must Match Registered Vehicle. No Temporary or Permit/Vehicle Swapping Is Allowed.
- Trailers Must Remain Hitched/Attached to The Permitted Vehicle at All Times. No Unattended, Detached Trailer Storage Is Allowed. Any Unattended, Detached Trailers Will be Immediately Towed at The Owner's Expense. The Ramps Are Not Storage Facilities.
- Please Be Courteous and Do Not Park Directly in Front of The Ramp as To Obstruct Adequate Maneuvering Space for The Launching and Recovery Of Watercraft.

Padre Isles
Property Owners
Association
Bulkhead Manual



Corpus Christi, TX

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INTRODUCTION

This manual is intended as an easy-to-understand guide for owners and prospective owners of waterfront property located on North Padre Island in the city of Corpus Christi. All the waterfront properties in the PIPOA (canal-front) are protected by bulkheads which were installed by the original developer.

The manual contains an overview of frequently used bulkhead terminology, illustrations of common problems with bulkheads, and information regarding the repair and replacement of bulkheads. In addition, there are tips on how to prolong the useful life of a bulkhead, and thus postpone the expense of major repairs or replacement. The costs involved in repairing or replacing bulkheads can be substantial.

The waterways of Padre Island are perhaps the most visible and important aspect of island life. Thank you for taking the time to learn about our bulkheads and the critical role that they serve on our island.

FORM, FUNCTION, AND IMPORTANCE OF BULKHEADS

A bulkhead is a structure which separates a body of water from the adjacent land. While the appropriate term for most of the structures on Padre Island is "bulkhead" (a straight wall) residents and visitors commonly use the term "seawall" instead.

Bulkheads perform several functions which are important to Padre Isles Property Owners:

- they serve to protect property from loss of land mass into the water due to erosion, current, and wave action
- they help maintain the proper water depth in adjacent waterways
- they delineate between private property (the owner's land) and the water
- they define the width of a waterway for purposes of dock and accessory construction
- they contribute to the stability and value of waterfront property

An essential point to remember is that our bulkheads are intended to keep "land in" rather than the "water out". Accessing the bulkheads to inspect by land is necessary, since it is not always possible to inspect by the waterside. A bulkhead is not one unit; rather it is designed and constructed from several distinct components such as panels, caps, tieback rods, and deadmen.

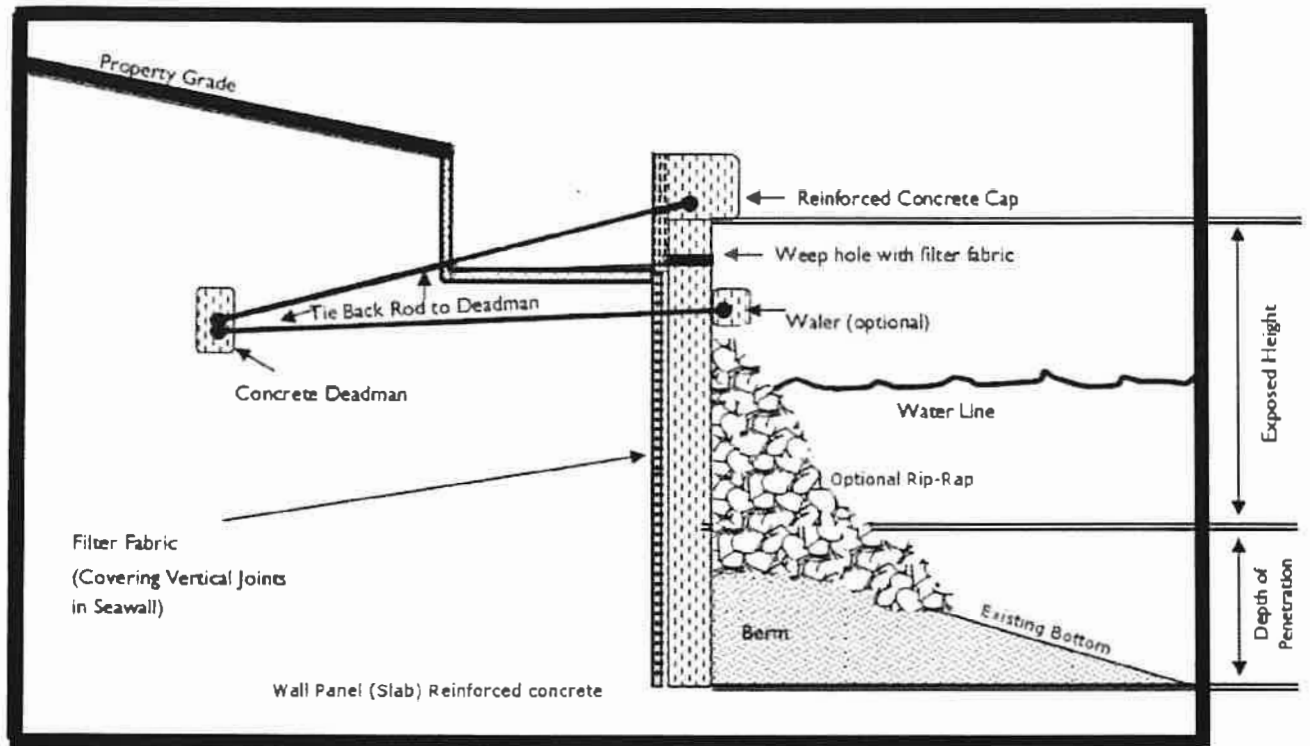
Generally, a bulkhead consists of a series of interlocked panels (concrete, composite, PVC, metal) that are not watertight. A cap (usually concrete) ties individual panels together. The panels extend vertically from below the water floor (berm) to above the land elevation. Traditional construction methods include tie-back rods that anchor the vertical structure to concrete blocks called deadmen which are embedded in the landside soil.

The tiebacks and deadmen are vital to maintain the wall in an upright position and prevent it from falling into the water.

Bulkheads are designed with weep holes to allow water collecting behind the panels to drain and relieve (hydrostatic) pressure on the structure.

To help visualize the bulkhead structure, an illustration, is included on the next page.

TYPICAL BULKHEAD AND COMPONENTS



COMMON BULKHEAD PROBLEMS

Bulkhead construction methods have improved significantly over time because of technological advances, experience, and regulatory action. Older bulkheads can suffer from several common problems:

SINKHOLES:

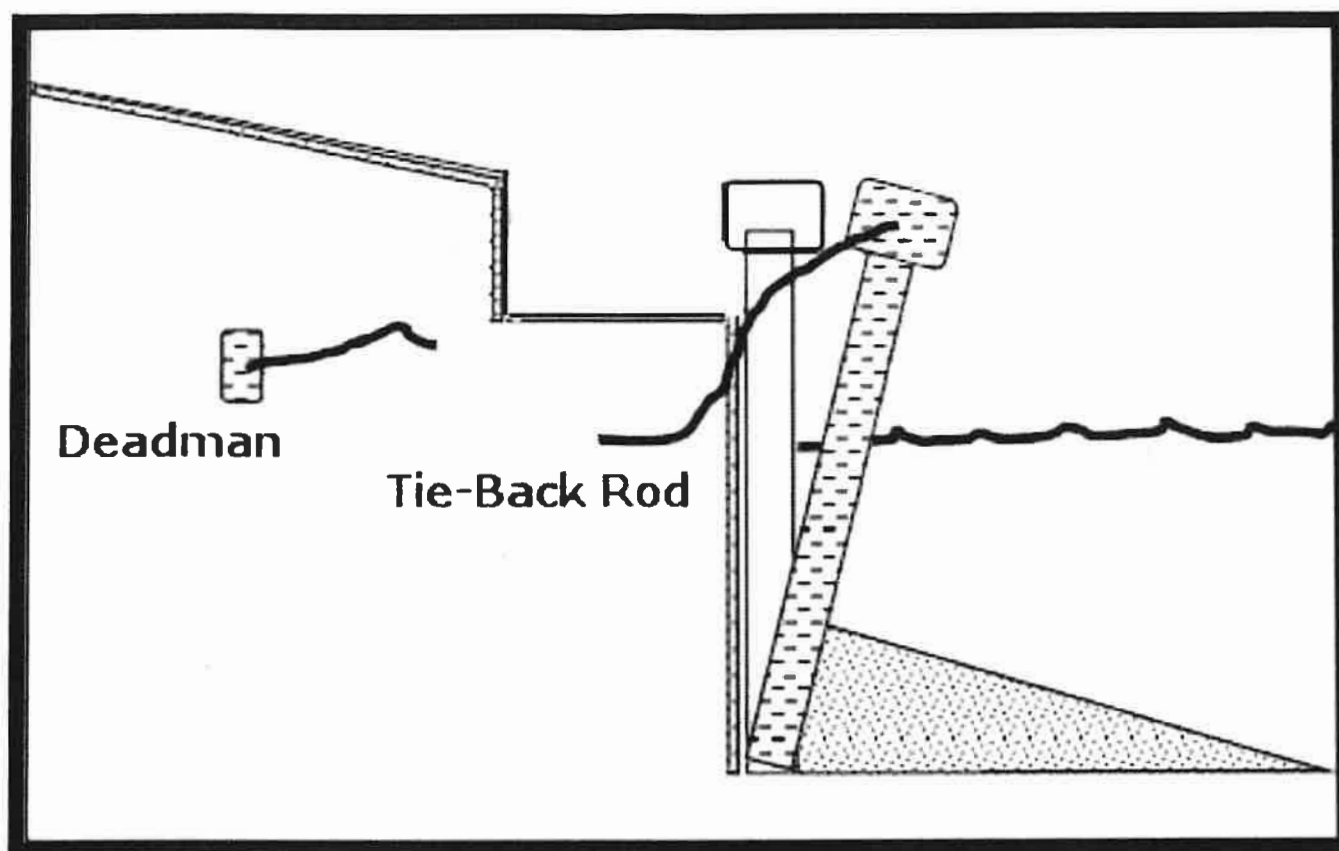


Symptoms: Sinkholes upland of the wall, visible back-fill mounds in the water near bulkhead joints (most visible at low tide).

Cause: Age, settling, structural failure, insufficient berm at the slab toe of the wall. Slab separation allowing backfill to migrate through openings into the water that frequently occur after heavy rains.

Remedies: Installation of a French Drain may be appropriate if not already present. Maintain water passage through weep holes, by cleaning or adding supplemental drainage, add filter fabric to vertical slab joints, and if berm is lacking at the slab bottoms, may require replenishment.

TIEBACK FAILURE

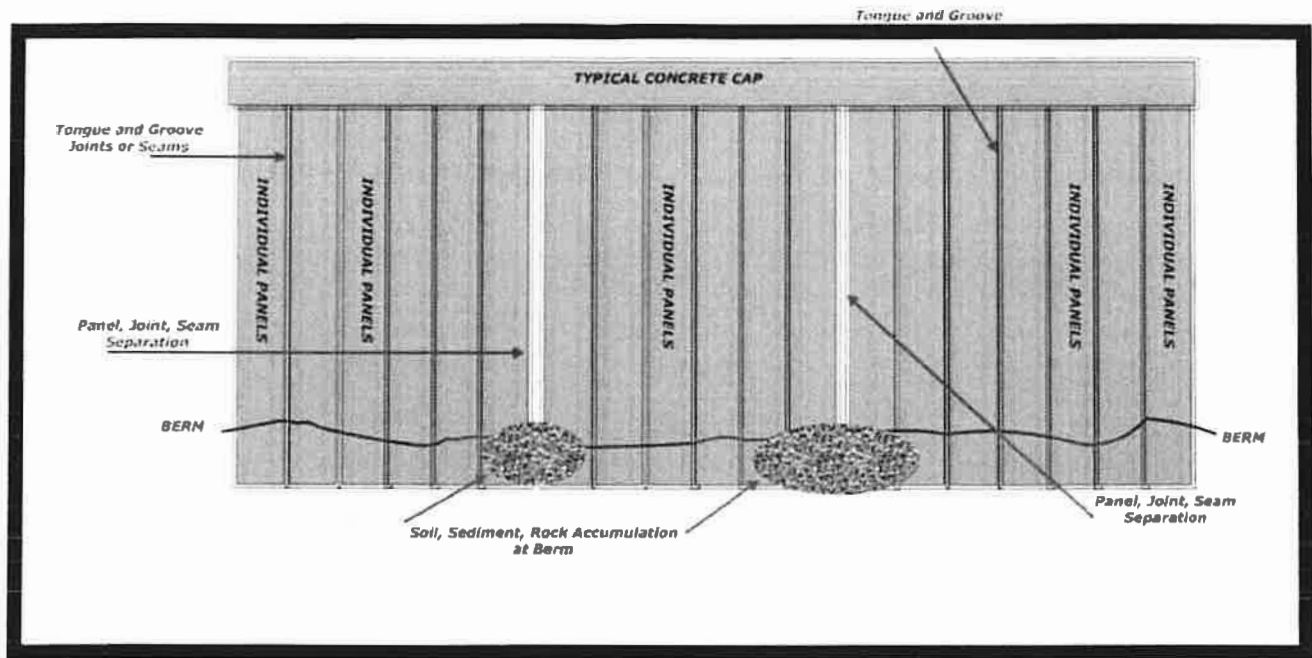


Symptoms: A deteriorating cap, wavy or sagging panels, cracks / spalling and backfill settlement.

Cause: This is the result of saltwater corrosion and oxidation in the cap reinforcing or tie-back rods. It could also stem from movement of the structure. The results are upper rotation, cracking or crumbling of the concrete cap and its ability to keep the slabs aligned, and/or the slabs moving out of vertical (plumb).

Remedies: If tie-back rods are heavily corroded, excavation may be necessary for their replacement and integration into a newly poured cap. On many older bulkheads, owners faced with tieback rod failure have installed a new set of tie-back rods and a waler -- a concrete structure that runs the length of the bulkhead about 2' below the top on the water side of the panels. Supplemental helical tiebacks are also a common remedy.

SLAB JOINT (SEAM) SEPARATION

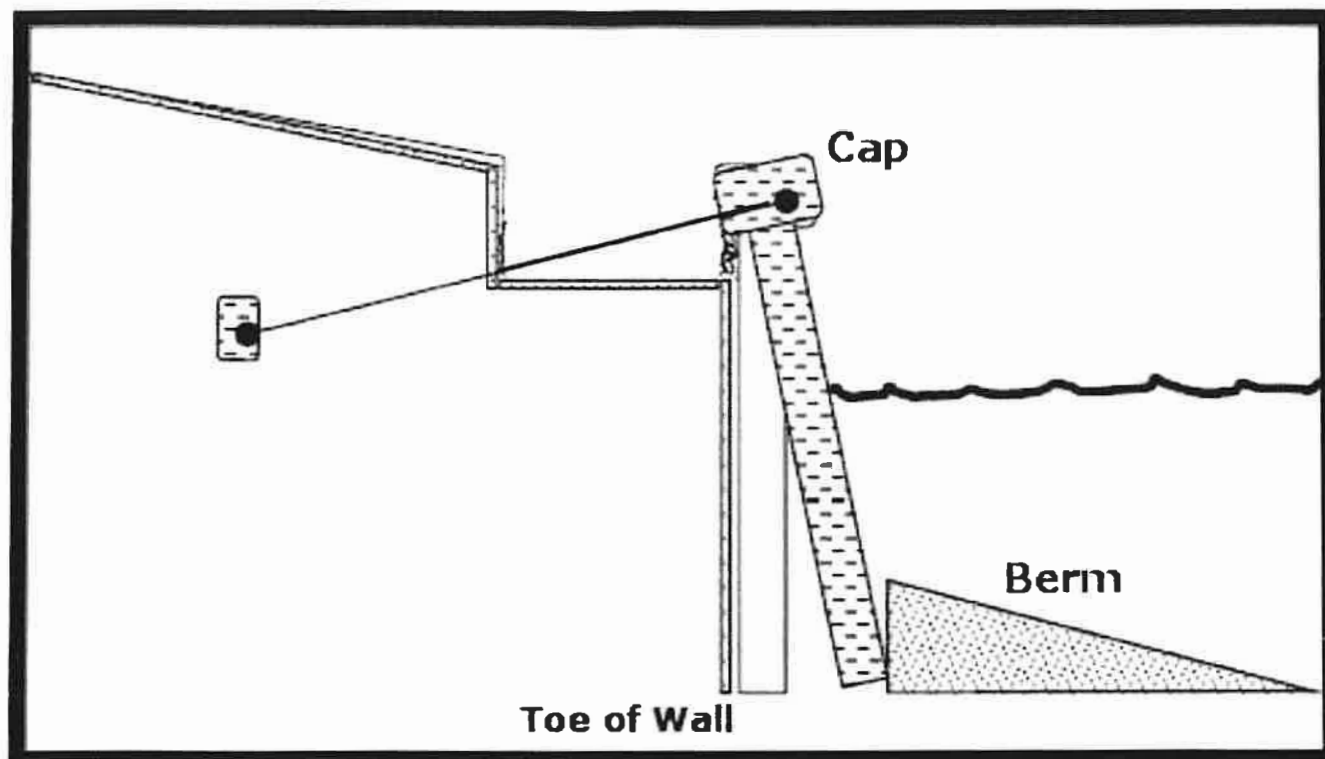


Symptoms: Sinkholes, separation in seams, accumulation of rock, and sediment at base of the affected joint.

Cause: Age, uneven exertion of hydrostatic pressure particularly during low tide, tieback failures.

Remedies: Seal seams and cracks, install filter fabric, install supplemental tiebacks (traditional or helical) for additional support in crack areas. Ensure proper drainage and relief of hydrostatic pressure. To the extent possible, route storm water away from the bulkhead.

TOE & BERM FAILURE

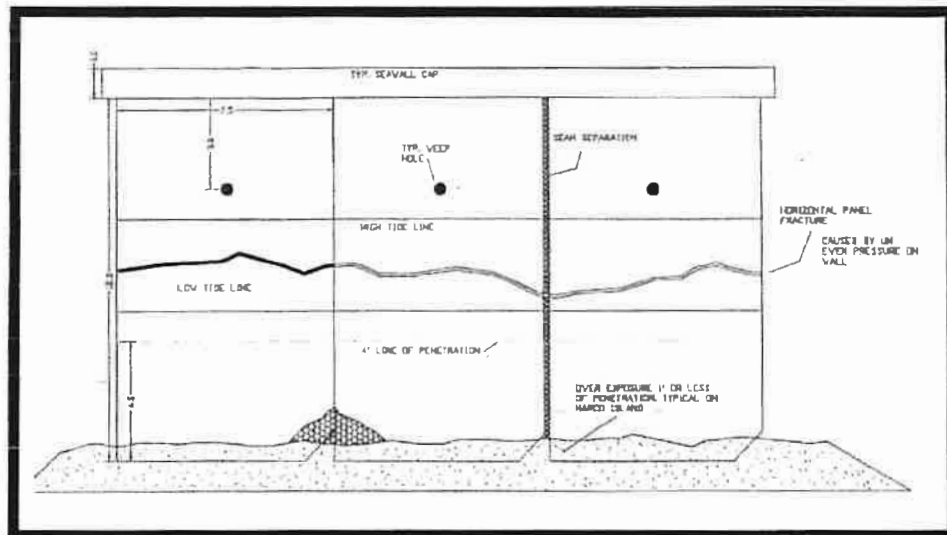
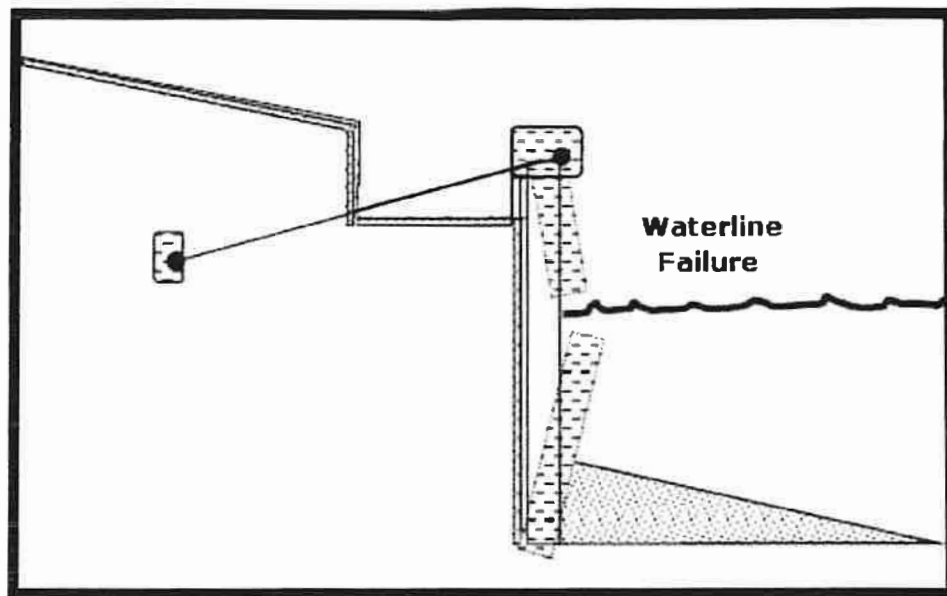


Symptoms: Cap rotation, movement or cracking, a gap opening between bulkhead and dock (if present), and support pilings (if present) tight against the bulkhead indicating pressure on the structure from the failure.

Cause: Loss of supporting berm at the bottom of the slabs in the water. The panels tilt out, and sometimes crack or cause the cap to twist or break. Loss of berm is usually associated with wave action, either natural or from speeding boats. Insufficient panel penetration and / or improper placement in the berm may be the cause of such failures as well.

Remedies: Placement of additional berm, rip rap or bags of dry concrete mix to stabilize the bottom of the structure if the toe-out is not too severe. In severe cases, the panels may be pulled and replaced, or reinserted if not irreparably damaged. If pilings are present along the bulkhead perimeter, dry concrete bags wedged between the piling, and the wall may help.

WATERLINE FAILURE



Symptoms: The principal symptom is cracking with rust marks on the panels facing the water.

Cause: Aging, corrosion of concrete and reinforcing rod and uneven hydrostatic pressure. Slabs or panels develop horizontal cracks usually along the water line, and the panels eventually break along these lines.

Remedies: Replace affected panels if possible. Potential for helical tieback usage.

CAP FAILURE



Symptoms: The principal symptoms are rust, spalling, exposed rebar, and fractures.

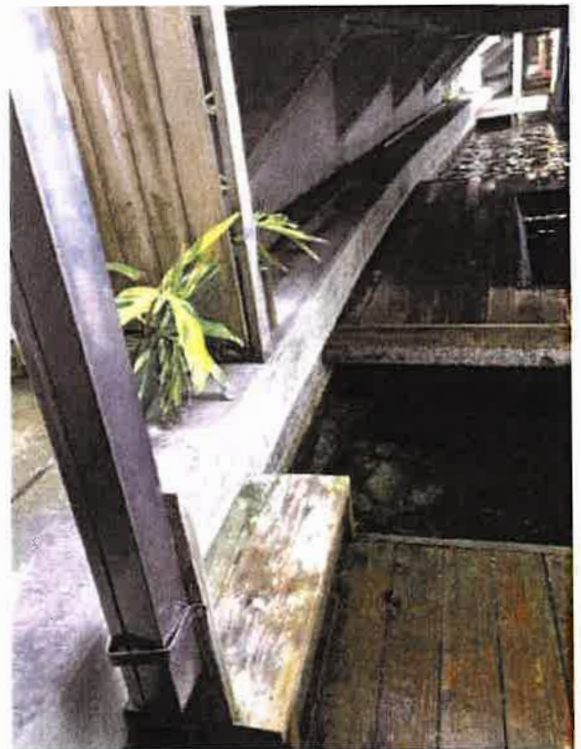
Cause: Aging, corrosion of concrete and reinforcing rod and uneven hydrostatic pressure. Slabs or panels develop horizontal cracks usually along the water line, and the panels eventually break along these lines.

Remedies: Partial or full cap replacement.

ADDITIONAL PHOTOGRAPHIC EXAMPLES

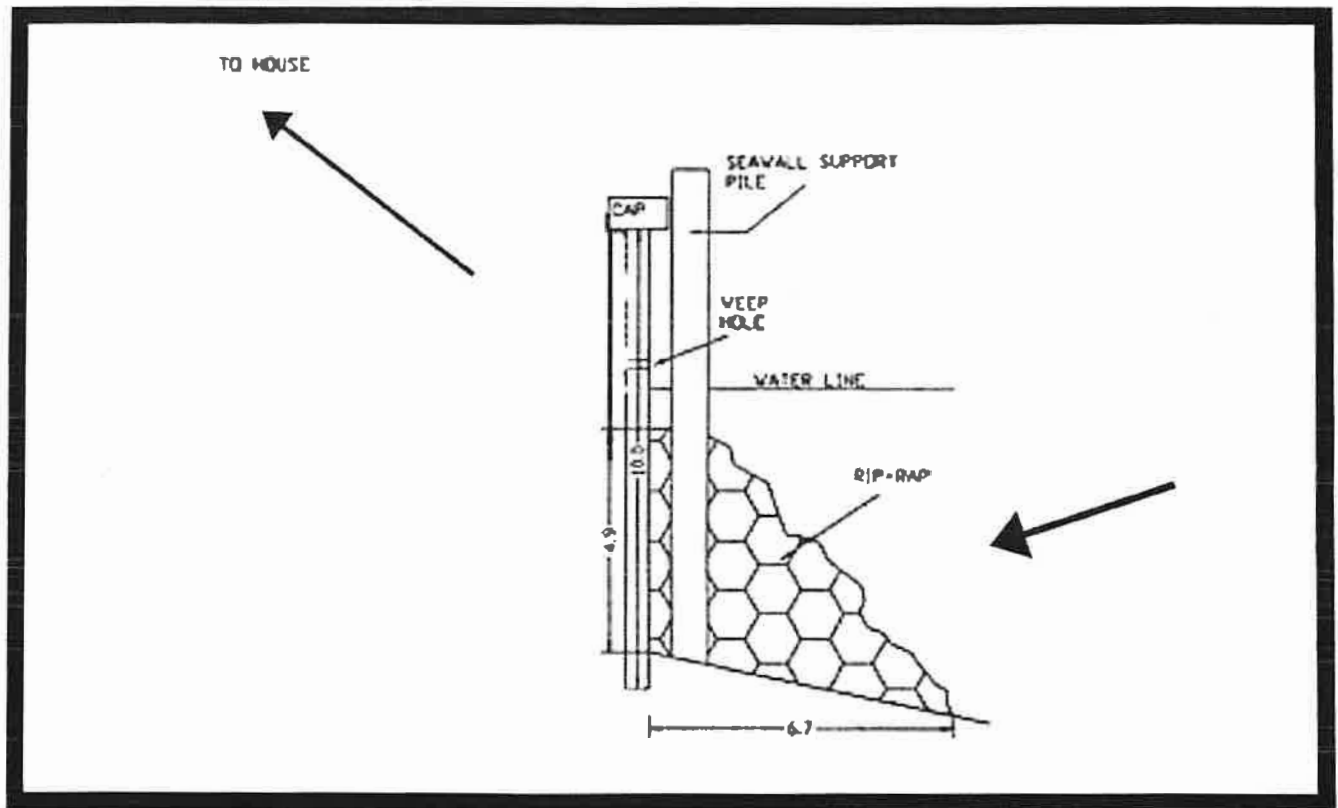
{PICTURE #1} - Supplemental tieback example – in this case, a helical tieback installed at corner point with vertical flange. The actual tieback is a solid rod with helices driven 14-21 feet into the ground at a specified angle.

{PICTURE #2} - Rip Rap (stone piled against the seawall) is particularly useful in areas of high tidal velocity to keep berm from washing away. Unfortunately, rip rap can hamper boat docking and dock installation.



Bulkhead Repair, Stabilization & Improvements (Illustrated)

Rip Rap



Profile illustration of rip rap. Note degree of necessary protrusion into canal which may make installing a future dock difficult.

Hydrostatic Pressure Relief (Drains, Weepholes)



Note horizontal crack at mid-point of concrete panel – the weakest point of the seawall, particularly at low tide. Crack is likely caused by either excess hydrostatic pressure or possibly a tieback failure. Drain (bottom of picture) was likely installed in response.

BULKHEAD REPLACEMENT

The best way to maximize bulkhead life is to start with a properly engineered and installed bulkhead. Subsequent problems will be reduced if the original design and construction is properly done.

Undeveloped (vacant) lots provide reasonable access for contractor's equipment and materials. However, developed lots present access problems, often requiring work to be done from a barge. The presence of a house, dock, davits, trees, other landscaping, sprinkler systems, exterior plumbing and electric conduits will add to the cost of replacement, as these items will either limit access or require removal and replacement.

MAXIMIZING THE LIFE OF YOUR BULKHEAD

There are several things that a property owner may do to prolong the useful life of a bulkhead, and thereby postpone the expense of major repairs or replacement. Please consider the following recommendations:

1. Install pilings or supplemental tieback rods around the perimeter of the bulkhead. These will add support and help to maintain alignment of the slabs or panels.
2. If you boat, maintain "Idle Speed" in the bays, waterways, and canals of Padre Island. This protects berms securing the lower end or toe of the slabs or panels. Encourage your friends and neighbors with boats to do the same.
3. Encourage your neighbors to properly maintain their bulkheads. A sagging bulkhead adjacent to yours may cause you some damage.
4. Avoid the placement of large trees adjacent to bulkheads and avoid the use of heavy equipment traveling along bulkhead perimeter so as to reduce pressure on the bulkhead.
5. Adjust sprinkler heads in the vicinity of bulkheads to minimize water application behind the wall. Try to redirect drainage from yard and roof so that it does not flow directly into pond behind the bulkhead structure.

WATERSIDE RESPONSIBILITIES

There are certain responsibilities that come with the waterside living that will help to ensure the value, integrity, and long-term enjoyment of your property and those of your neighbors.

As an owner of property adjacent to water, you are also a steward of the condition of the waterbody and everything that may live there. The health and well-being of our surrounding waters, and the marine life therein, is greatly impacted by your actions.

Please try to adhere to the following recommendations:

- Be sure that lawn clippings, tree/ shrub trimmings and other vegetative waste do not make it into the waterways.
- Do not allow any fertilizers (liquid or broadcast granules) into the water - insist that your landscaper adheres to this rule as well as compliance is mandated.
- Leave a buffer zone ("no fertilizer, no pesticide") of at least 10' along the shoreline.
- Do not leave fertilizer granules on impervious (paved surfaces). Be sure any fertilizer spills, large or small, are swept onto the grass.
- Make sure that storm water from roofs, driveways, or other drains do not discharge directly into waterways.
- Never store gas, diesel, oil, or chemical solvents on or near your dock or bulkhead.
- Keep decks and bilges of your boat free of fuels and chemicals in case rainwater causes your automatic bile pump to discharge.
- Try to use only biodegradable cleaners and soaps (not household cleaners) when maintaining your boat or personal watercraft.
- Discuss best waterside practices with your neighbors and cooperate with them to ensure that bulkheads, boat docks, boats, and personal watercraft are maintained and pose no environmental threat.
- Notify the PIPOA if you notice any unusual discharges, colorations, debris, or hazards to navigation in any of the waterways.

Thank you for your cooperation!

GLOSSARY OF TERMS

Berm- Ground or soil which supports toe of the wall at the bottom. May also include rip rap.

Cap- Concrete (usually reinforced) box structure which ties bulkhead together at top.

Deadman- Poured concrete block approximately 15' back in the yard which anchors panel and cap structure by means of steel tie-back rod.

Erosion- Soil from behind the wall escaping into the water. This may occur through defective bulkhead joints or cracked panels.

French Drain- Usually a 2' by 2' trench dug out behind the bulkhead lined with filter fabric.

Helical – Having the shape of form of a helix; spiral

Hydrostatic Pressure- Invisible but constant force created from water on the landside of the bulkhead.

Panel (or Slab) - A reinforced concrete rectangle, 6" thick and 5' to 8' wide and 10' to 16' long. These are placed vertically to form the wall. Alternatively, plastic (PVC) sheet piling, composite sheet piling, or metal sheet piling is used for this purpose.

Piling- Concrete or wood poles placed at regular intervals outside of the panel perimeter in the water to reduce movement of the bulkhead.

Rip-Rap- Large size stone placed at the toe of the wall to stabilize its position and prevent or reduce erosion.

Tie-Back or Rod -Steel bars connecting the bulkhead cap and the anchor.

Waler- A supporting structure installed about 2' below the bulkhead top placed on the outside of the panels which normally anchors a separate tie-back rod system to help support the bulkhead.

Weep Holes- Drilled holes in bulkhead above the water line to facilitate drainage and reduce water pressure.



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RESALE CERTIFICATE FEE STRUCTURE

Resale Certificate - \$50.00

Five (5) Business Day / Resale Certificate Valid for Thirty (30) Days

(Additional \$25.00 for Rush)

Requests Made for Less Than 48-Hour Turnaround

Refinance Certificate / Statement of Account - \$50.00

Five (5) Business Day / Valid for Thirty (30) days

Resale Certificate Refresh - \$25.00

Resale Certificates Requested Prior to Thirty (30) Days Requiring an Update

Lender Questionnaire - \$25.00

Title Transfer Fee - \$100.00

NOTE: Resale certificate request fees and Member Transfer fees must be paid by separate payment transactions. Fees may be paid to the Padre Isles Property Owners Association (PIPOA) by check, money order, or credit card. No cash payments will be accepted.

Policy Effective September 1, 2021